

We want to know about...

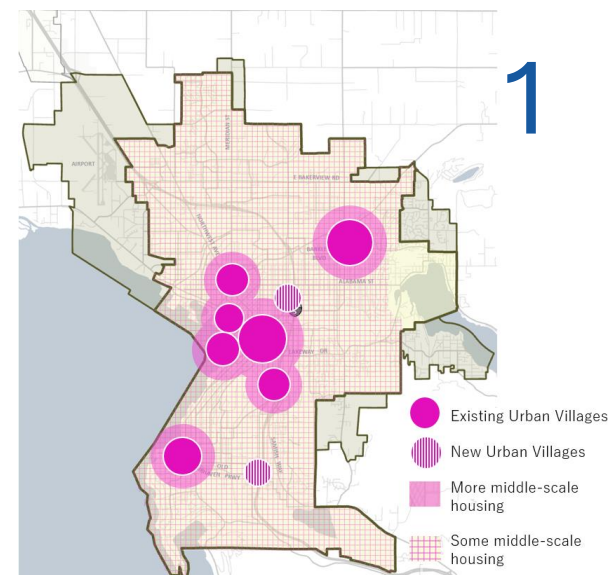
HOUSING GROWTH

We are considering a few different approaches to how the city could grow over the next 20 years. We'd like your input as we develop them. Any approach will include:

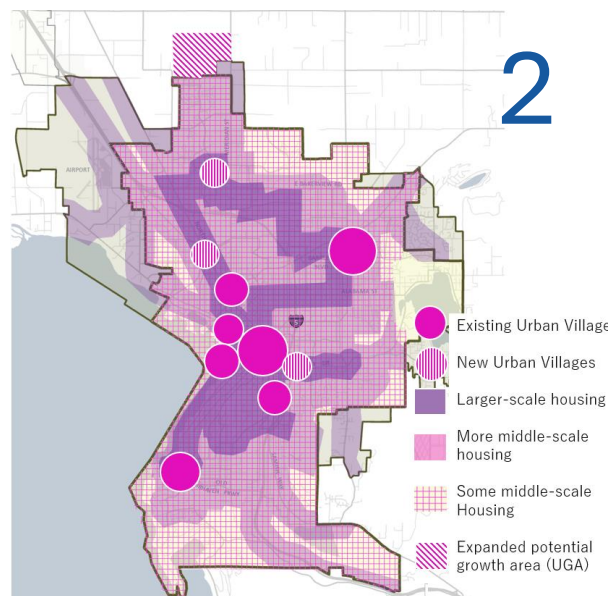
- Continued investment and growth in our existing **Urban Villages** (Downtown, Old Town, the Waterfront, Fairhaven, the Fountain District, Samish Way, and Barkley), and
- Compliance with new state laws, particularly allowing a variety of housing types and **allowing at least 4 units** on most residential lots in the city.

*What concerns do you have about the housing growth that might occur under each of these approaches?
What could be done to address those concerns?*

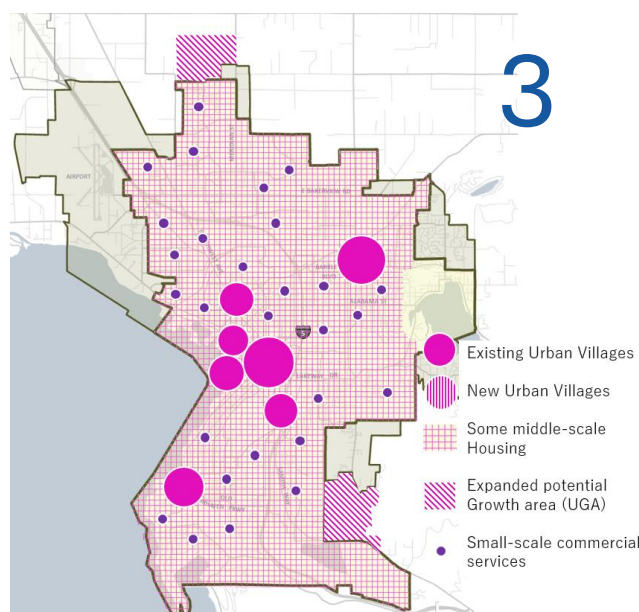
1. **Urban Village Focus:** Addition of two **new Urban Villages** and emphasis of middle-scale housing near all Urban Villages.



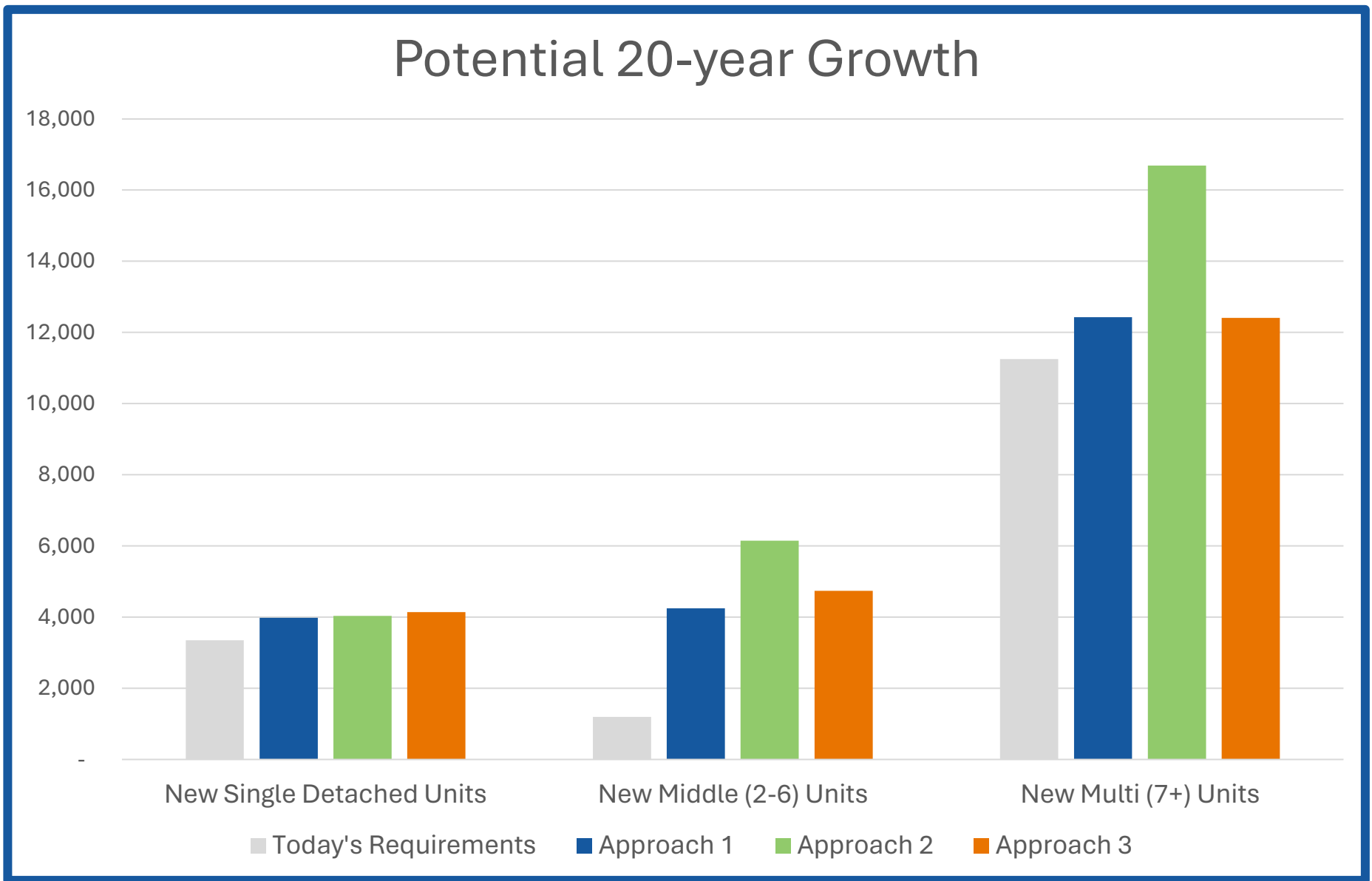
2. **Transit-oriented Focus:** Focus of new growth along high frequency transit routes, with mid-scale housing near these routes. Addition of three **new Urban Villages** along transit routes. Addition of some area to the north that the city could eventually grow into.



3. **Complete Neighborhoods:** Spreading growth around the city, focusing on providing **small-scale commercial uses in every neighborhood** with middle-scale housing nearby. Addition of some area to the north *and* south that the city could eventually grow into.



Flip the page to see some potential outcomes of these approaches



This graph shows the potential number of additional units we might expect under today’s requirements (which do not meet state requirements starting in 2026) and for each of the approaches described on the previous page.

Use this area for additional notes if needed